



Drawing Index

Architecture

G0.0 COVERSHEET
G1.0 TITLE SHEET & SITE AREA PLAN
G1.05 SURVEY

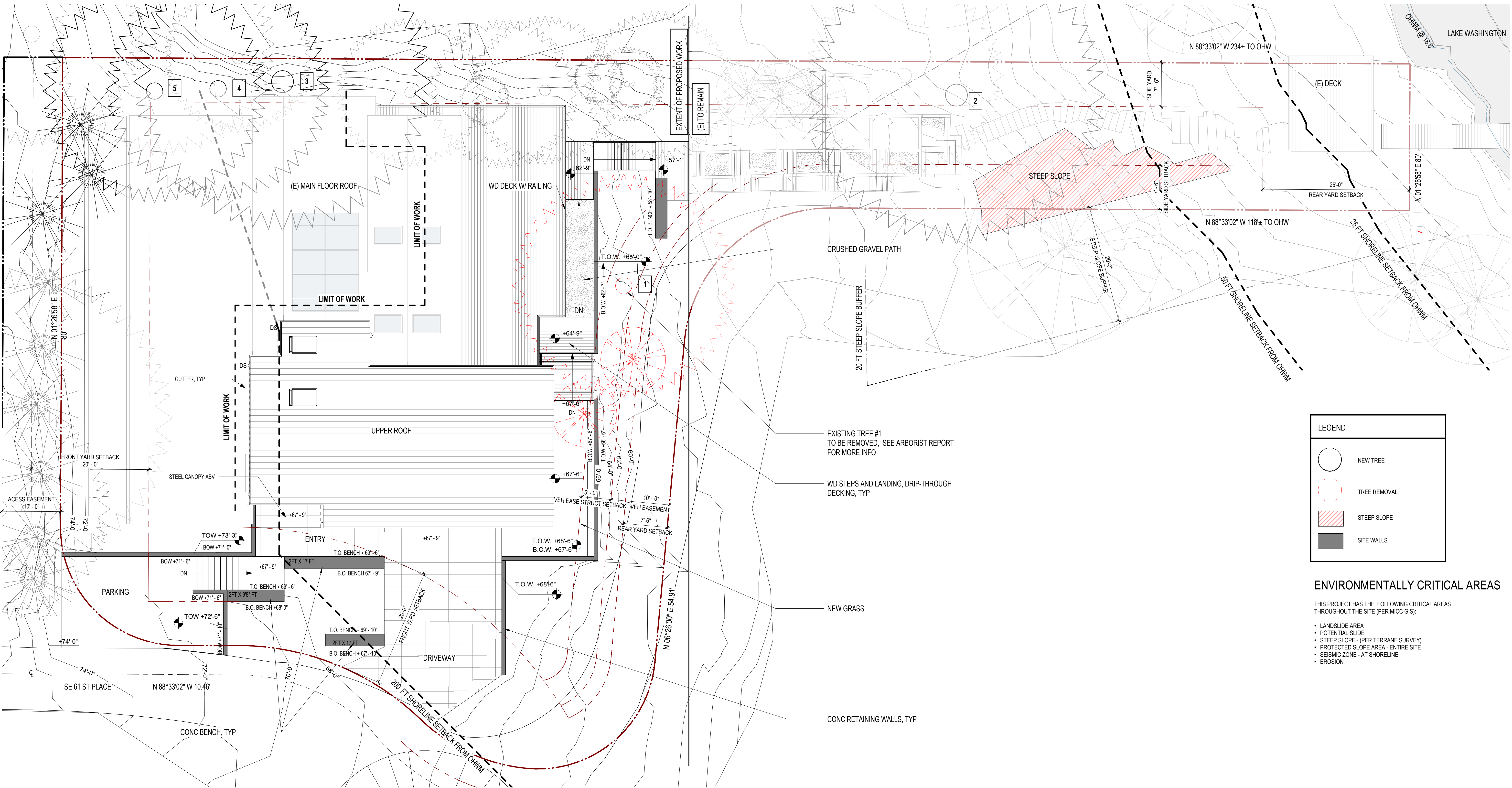
Architecture

A0.01 SITE PLAN - ECA, BOUNDARIES, SETBACKS
A0.02 SITE PLAN - TREE PROTECTION & REPLACEMENT
A0.03 LOT COVERAGE
A0.04 GROSS FLOOR AREA
A0.05 AVERAGE GRADE
A0.06 BUILDING ASSEMBLY & ENERGY CODE

A0.07 EXTERIOR & INTERIOR ASSEMBLIES
A1.01 DEMOLITION PLANS
A1.02 DEMOLITION SECTIONS
A2.01 MAIN FLOOR PLAN
A2.02 UPPER FLOOR PLAN
A2.03 ROOF PLAN
A3.01 EXTERIOR ELEVATIONS
A3.02 EXTERIOR ELEVATIONS
A4.01 BUILDING SECTIONS
A4.02 BUILDING SECTIONS
A6.01 WINDOW & DOOR SCHEDULES

Structural

S1.0 GENERAL STRUCTURAL NOTES
S1.1 GENERAL STRUCTURAL NOTES
S2.0 MAIN FLOOR FRAMING PLAN
S2.1 UPPER FLOOR FRAMING PLAN
S2.2 ROOF FRAMING PLAN
S3.0 TYPICAL FOUNDATION/SLAB DETAILS
S4.0 TYPICAL WOOD DETAILS
S4.1 TYPICAL WOOD DETAILS
S4.2 DETAILS
S4.3 DETAILS



LEGEND

- NEW TREE
- TREE REMOVAL
- STEEP SLOPE
- SITE WALLS

- ENVIRONMENTALLY CRITICAL AREAS**
- THIS PROJECT HAS THE FOLLOWING CRITICAL AREAS THROUGHOUT THE SITE (PER MICC GIS):
- LANDSLIDE AREA
 - POTENTIAL SLIDE
 - STEEP SLOPE - (PER TERRANE SURVEY)
 - PROTECTED SLOPE AREA - ENTIRE SITE
 - SEISMIC ZONE - AT SHORELINE
 - EROSION

PERMIT SET
APRIL 22, 2025

FAUSER RESIDENCE

9640 SE 61ST PL, MERCER ISLAND, WA 98040

PROJECT INFO
PROJECT NUMBER : 23-024
SUBMITTAL DATE : Issue Date

ISSUE

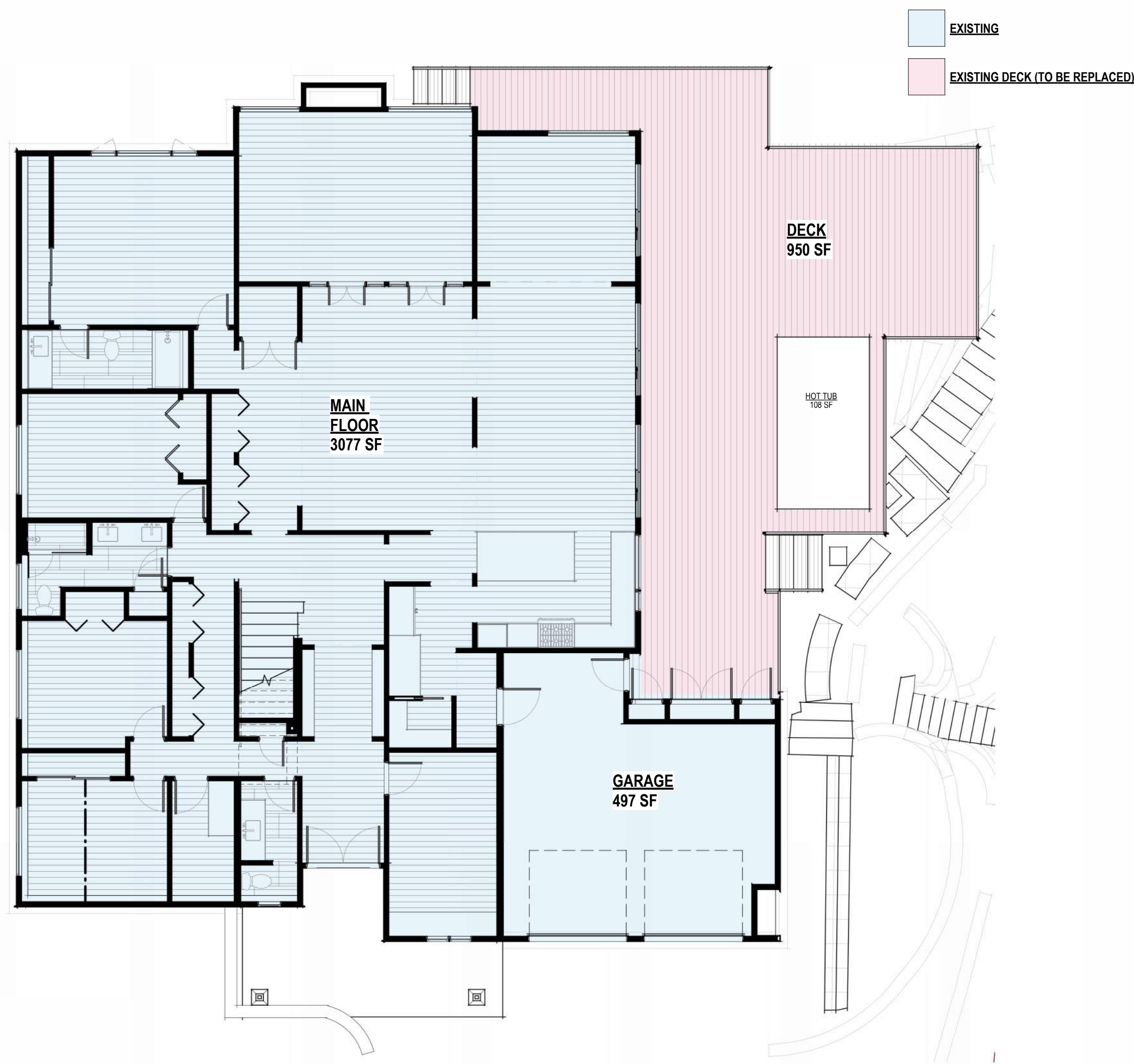
#	ADD.	REVISION	DATE

SITE PLAN - ECA, BOUNDARIES AND SETBACKS
1/8" = 1'-0"

SHEET
SITE PLAN - ECA,
BOUNDARIES, SETBACKS

A0.01

EXISTING



3 EXISTING MAIN FLOOR PLAN
1/8" = 1'-0"

EXISTING TO REMAIN & PROPOSED NEW 2ND STORY ADDITION



1 PROPOSED MAIN FLOOR PLAN
1/8" = 1'-0"

GROSS FLOOR AREA

GROSS FLOOR AREA: FLOOR AREA OF MAIN BUILDING, ACCESSORY BUILDINGS, GARAGES, ATTACHED ROOFED DECKS ON THE SECOND OR THIRD STORY OF A SINGLE FAMILY HOME, STAIRCASES, ETC.

MICC 19.02.020.D.1
R15 Zone, 12,000 SF or 40% OF LOT AREA, WHICHEVER IS LESS.

TOTAL ALLOWED GROSS FLOOR AREA: 14,731 SF (LOT AREA) * .40 = **5,892 SF**

EXISTING GFA - MAIN FLOOR (INCL GARAGE): 3,574 SF
EXISTING GFA - 2ND FLOOR: 887 SF
EXISTING GFA - 2ND FLOOR DECK: 130 SF
TOTAL EXISTING GFA: **4,591 SF**

REMOVED GFA - 2ND FLOOR + DECK: 887+130 SF = **1,017 SF**

PROPOSED: MAIN FLOOR (GARAGE INFILL = 12 SF): 12 SF
(NOTE: REMAINING MAIN FLOOR TOTAL: 3,586 SF)
PROPOSED GFA - 2ND FLOOR: 1,407 SF
PROPOSED GFA - 2ND FLOOR NEW DECK (COVERED): 90 SF
TOTAL PROPOSED GFA: **5,083 SF**

REMAINING ALLOWED GFA:
TOTAL ALLOWED - TOTAL PROPOSED: 5,892 SF - 5,083 SF = 809 SF
TOTAL REMAINING GFA: **809 SF**

PROJECTS WITH ≥ 500 SF OF ADDITIONAL FOOTPRINT ARE CONSIDERED SUBSTANTIAL ADDITION / REMODEL PER CITY OF MERCER ISLAND PLANNING AND DEVELOPMENT.
809 SF ≥ 500 SF

PERMIT SET
APRIL 22, 2025

FAUSER RESIDENCE

9640 SE 61ST PL, MERCER ISLAND, WA 98040

PROJECT INFO

PROJECT NUMBER: 23-024
SUBMITTAL DATE: Issue Date

ISSUE

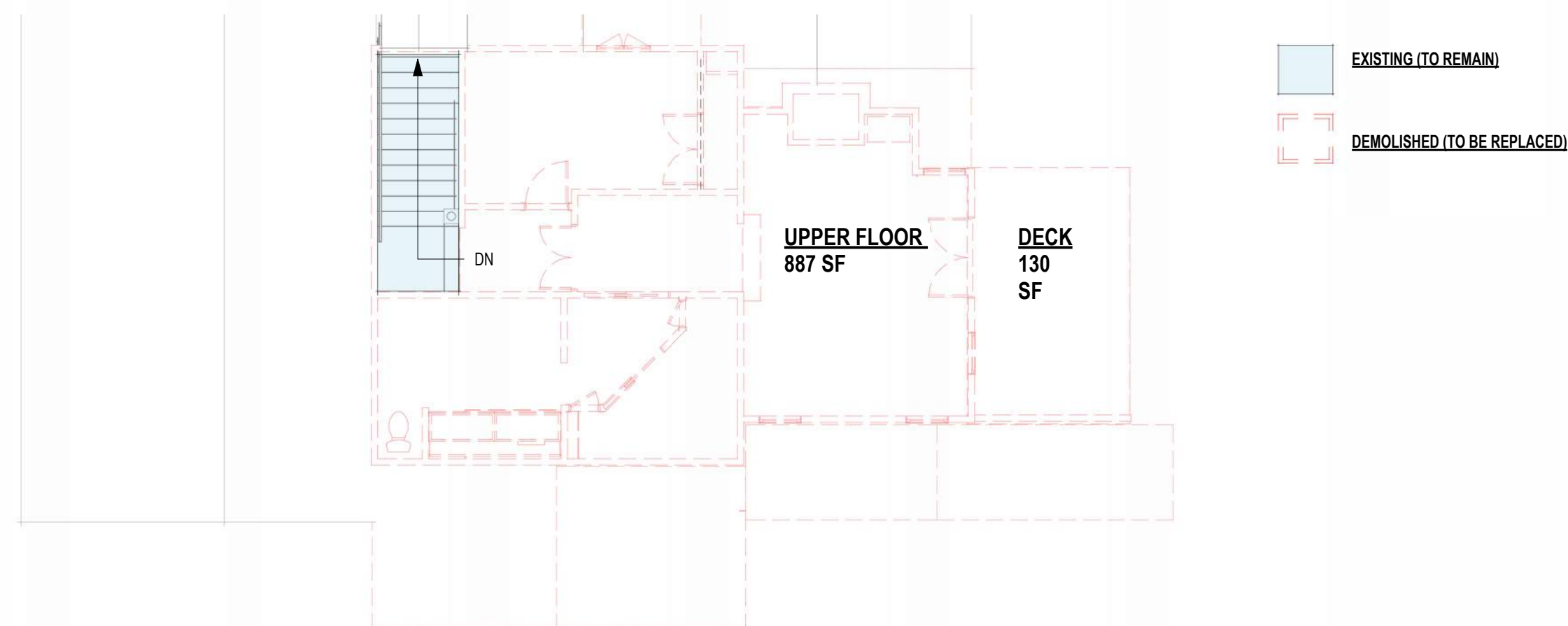
#	ADD.	REVISION	DATE

SHEET

GROSS FLOOR AREA

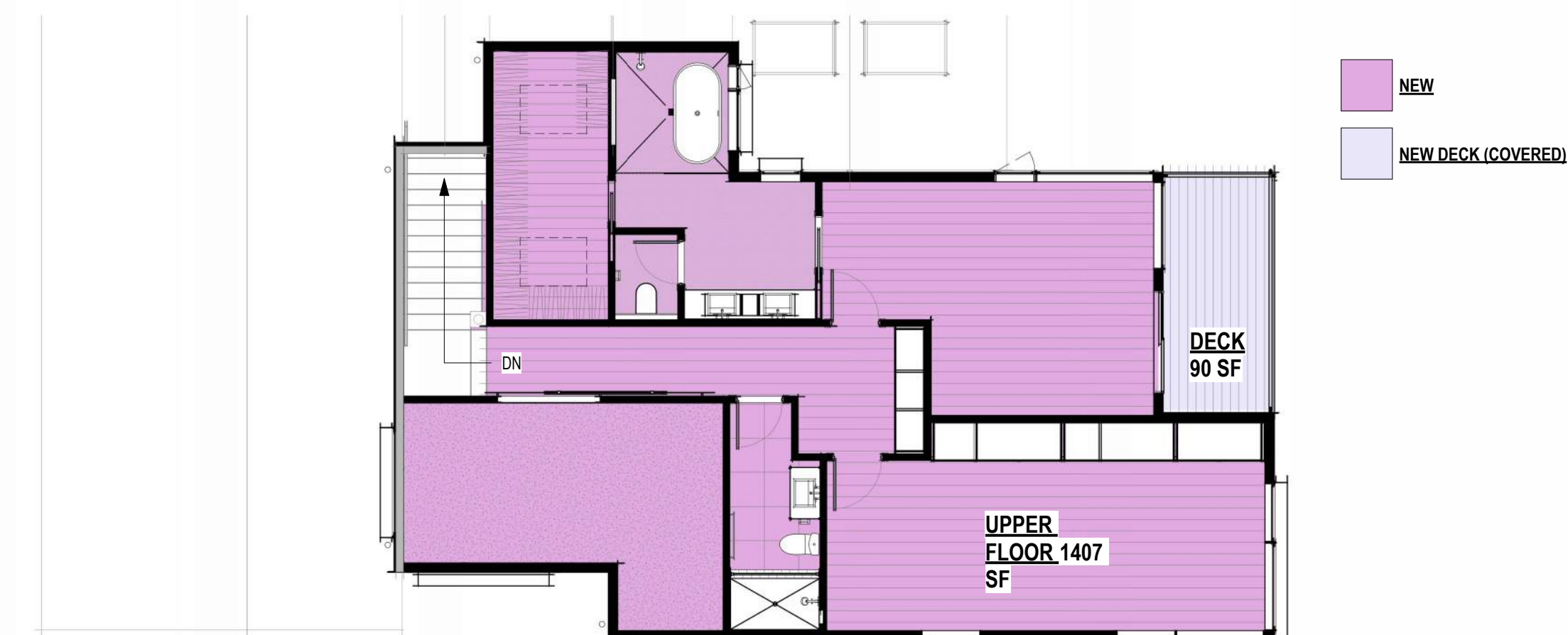
A0.04

EXISTING



4 EXISTING UPPER FLOOR PLAN
1/8" = 1'-0"

EXISTING TO REMAIN & PROPOSED NEW 2ND STORY ADDITION



2 PROPOSED UPPER FLOOR PLAN
1/8" = 1'-0"

EXTERIOR WALL ASSEMBLIES															
DESCRIPTION				DESCRIPTION				DESCRIPTION				DESCRIPTION			
EXISTING WALL W/ NEW SIDING (RAINSCREEN)	MARK	CORE	THICK	RATING	THERMALLY MODIFIED RAINSCREEN WALL	MARK	CORE	THICK	RATING	BELOW-GRADE CONCRETE WALL	MARK	CORE	THICK	RATING	
	AA					BB					CC				
	AA04	3-1/2"				BB04	3-1/2"				CC08				
	AA06	5-1/2"				BB06	5-1/2"								
<p>1" THERMALLY MODIFIED WD LAP SIDING 3/4" FURRING STRIP WRB EXIST 2X STUD WALL</p> <p>THERMALLY MODIFIED WD LAP SIDING 3/4" FURRING STRIP & VENTILATED AIR CAVITY SHEATHING 2X WD STUD FRAMING @ 16" O.C. R-21 BATT INSUL 5/8" GWB (TYPE X WHERE NOTED)</p> <p>EXIST CONCRETE FOOTING WALL</p>															
INTERIOR WALL ASSEMBLIES															
DESCRIPTION				DESCRIPTION				DESCRIPTION				DESCRIPTION			
	MARK	CORE	THICK	RATING		MARK	CORE	THICK	RATING		MARK	CORE	THICK	RATING	
	A					B					C				
	A4	3-1/2"		UNRATED		B6	3 5/8"	6 - 3/4"	STC 55		C6	5-1/2"	6-3/4"	1 HR	
	A6	5-1/2"		UNRATED											
<p>2X WD STUD FRAMING @ 16" O.C. 5/8" TYPE GWB, BOTH SIDES W/ LEVEL 4 FINISH AND PVA PRIMER THROUGHOUT</p> <p>PLUMBING WHERE OCCURS INFILL STUD BAYS W/ MINERAL WOOL OR SIM AT PLUMBING WALLS 5/8" GWB BOTH SIDES W/ LEVEL 4 FINISH AND PVA PRIMER THROUGHOUT (TYPE X WHERE NOTED)</p> <p>5/8" TYPE X GWB, BOTH SIDES</p> <p>* GYPSUM ASSOCIATION WP1072</p>															

PERMIT SET
APRIL 22, 2025

FAUSER RESIDENCE

9640 SE 61ST PL, MERCER
ISLAND, WA 98040

PROJECT INFO

PROJECT NUMBER : 23-024
SUBMITTAL DATE : Issue Date

ISSUE

#	ADD.	REVISION	DATE

SHEET

EXTERIOR & INTERIOR
ASSEMBLIES

A0.07

FAUSER RESIDENCE

PROJECT INFO

PROJECT NUMBER : 23-024
SUBMITTAL DATE : Issue Date

ISSUE

#	ADD.	REVISION	DATE

SHEET

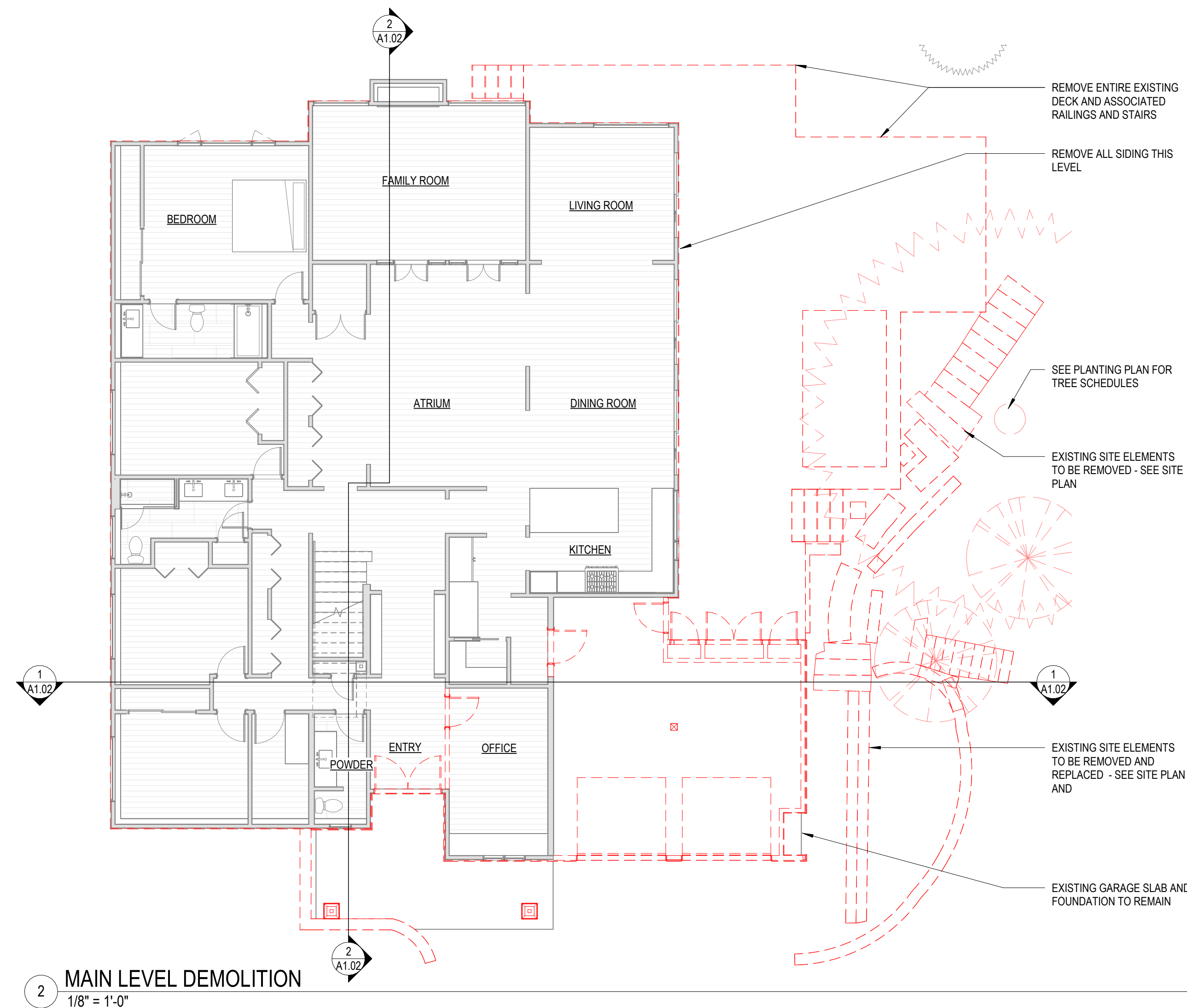
DEMOLITION PLANS

A1.01

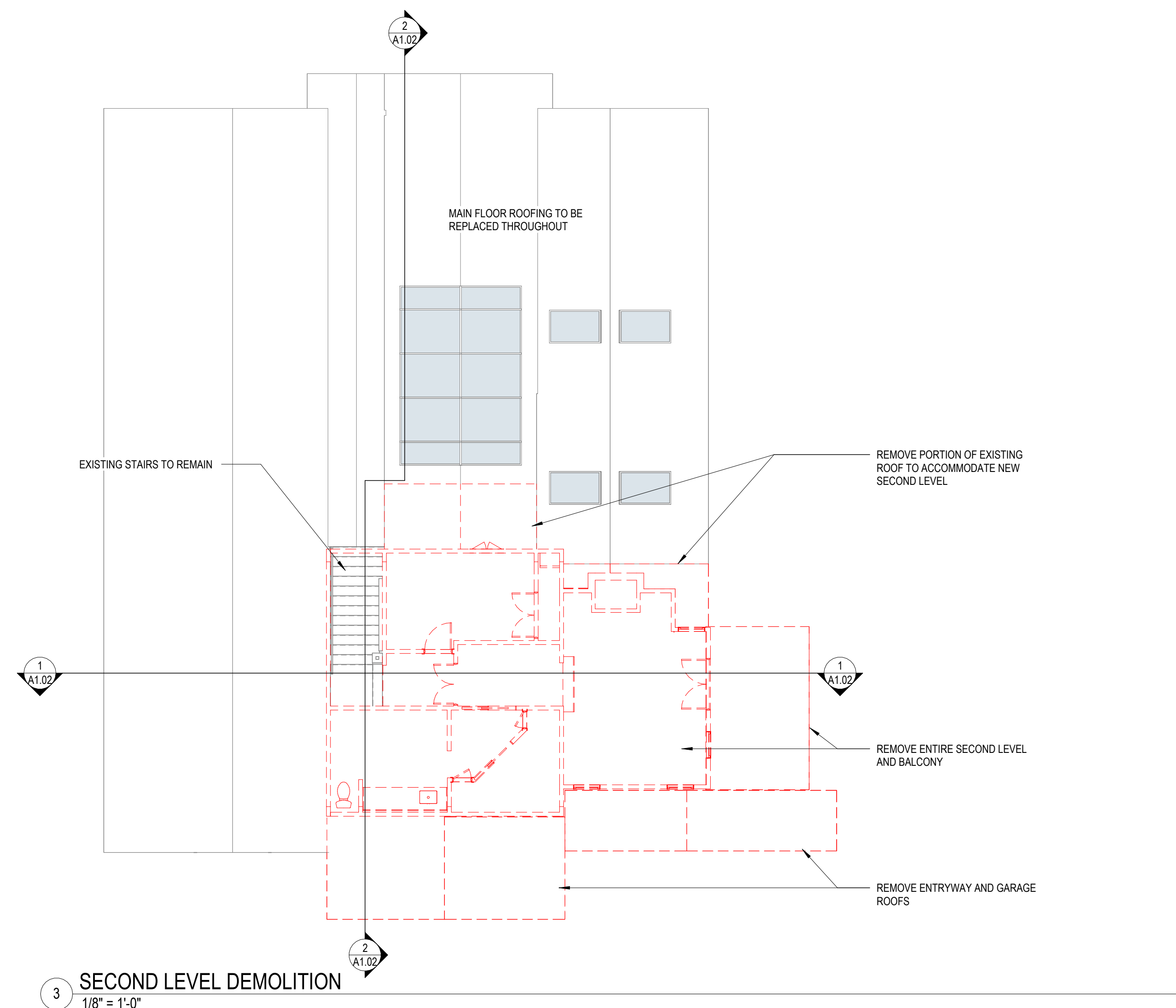
GENERAL DEMO PLAN NOTES:

1. MAIN LEVEL ENTRY, DOOR, AND ADJACENT PORCH STRUCTURE TO BE REMOVED
2. PORTION OF MAIN LEVEL ROOF TO BE REMOVED FOR NEW UPPER FLOOR FRAMING.
3. MAIN LEVEL SOUTH GARAGE ROOF TO BE REMOVED
4. PORTIONS OF GARAGE WALLS WILL BE REMOVED AND REPLACED
5. STORAGE CLOSET AND ACCESS DOOR TO GARAGE TO BE REMOVED AND REPLACED.
6. GARAGE DOORS TO BE REMOVED, AND REPLACED, SEE SPEC.
7. ALL EXISTING SIDING TO BE REMOVED AND REPLACED.
8. ALL EXISTING ROOFING TO BE REMOVED AND REPLACED.
9. EXISTING EXTERIOR DECK, DECK RAILING, AND ADJACENT STEPS TO BE DEMOLISHED AND REPLACED PER PLAN AND WITHIN LIMIT OF WORK.
10. UPPER LEVEL FIREPLACE TO BE DEMOLISHED.
11. UPPER LEVEL WALLS AND FLOOR FRAMING TO BE DEMOLISHED AND REPLACED.
12. UPPER LEVEL DECK TO BE DEMOLISHED.
13. UPPER LEVEL ROOF TO BE DEMOLISHED.

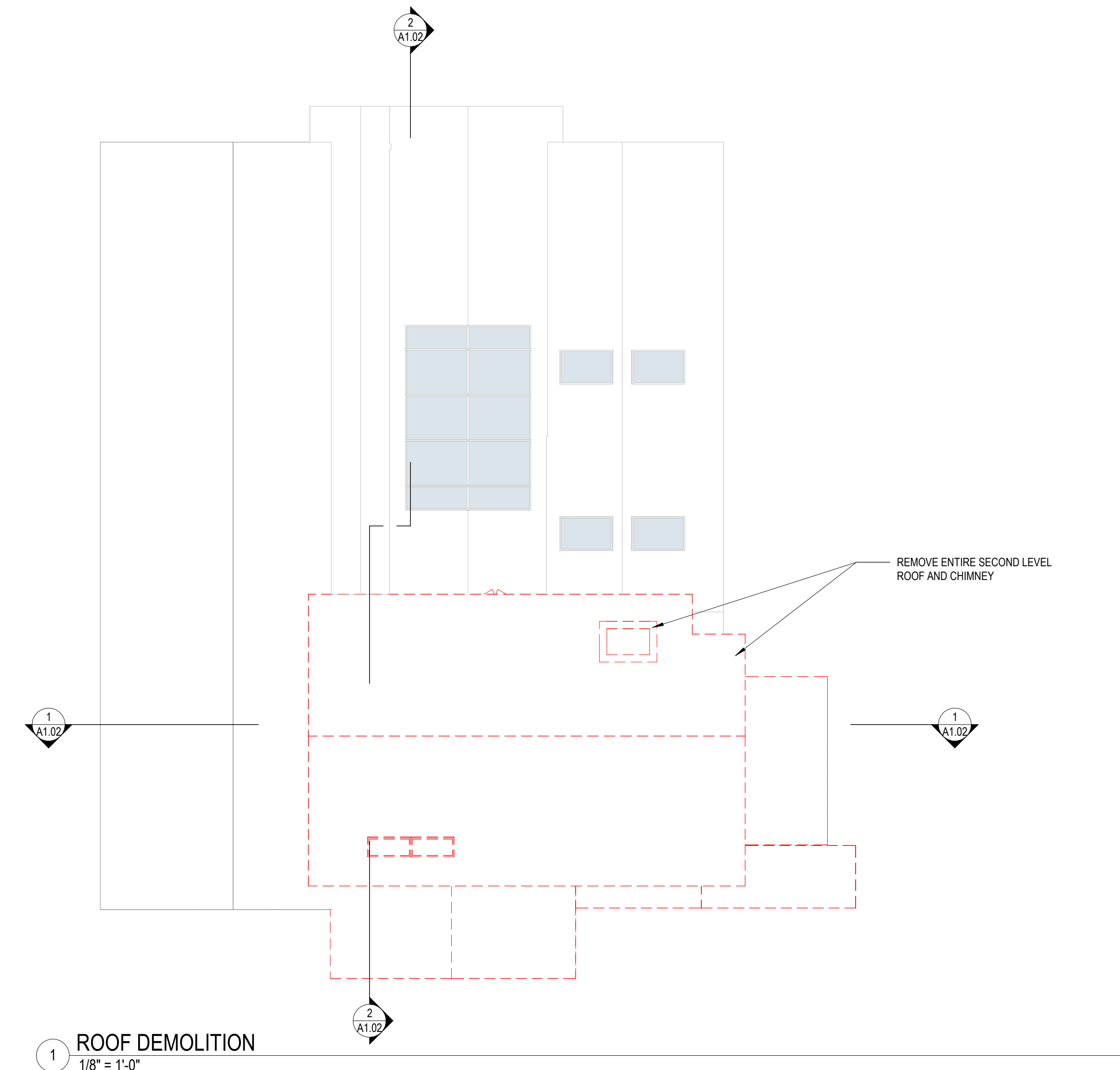
KEY	
	EXISTING WALL
	DEMO WALL



2 MAIN LEVEL DEMOLITION
1/8" = 1'-0"



3 SECOND LEVEL DEMOLITION
1/8" = 1'-0"

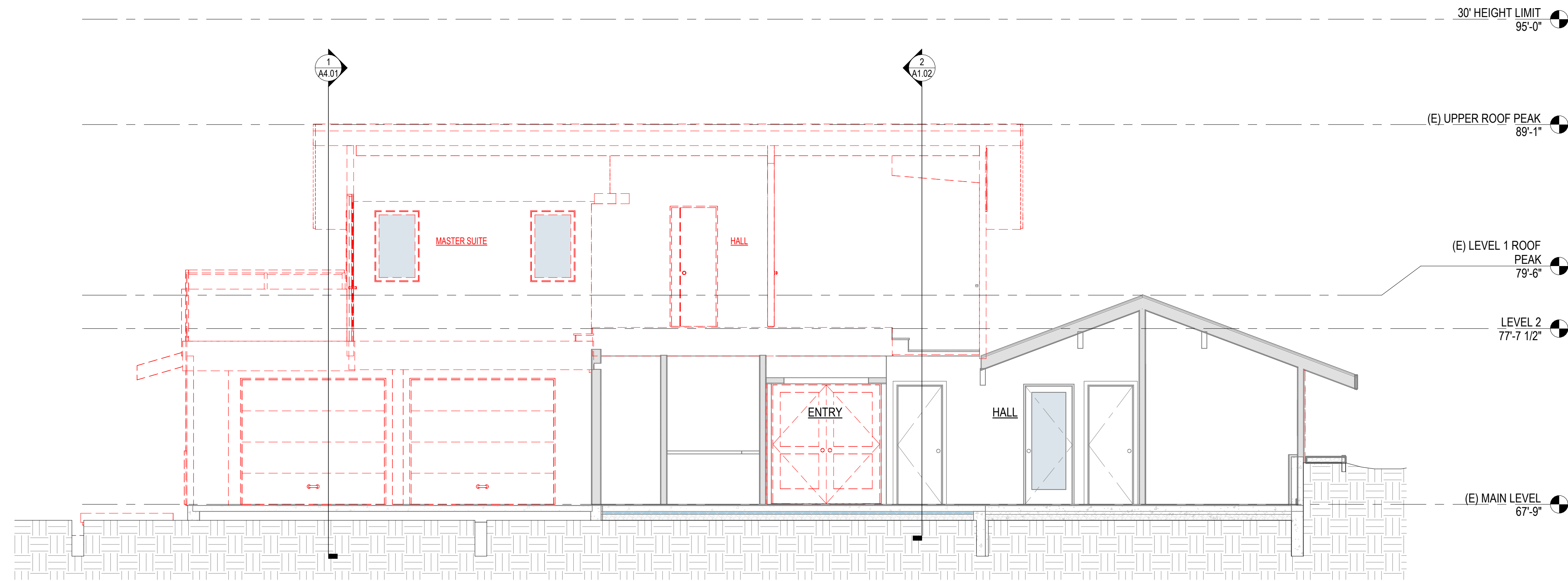


1 ROOF DEMOLITION
1/8" = 1'-0"

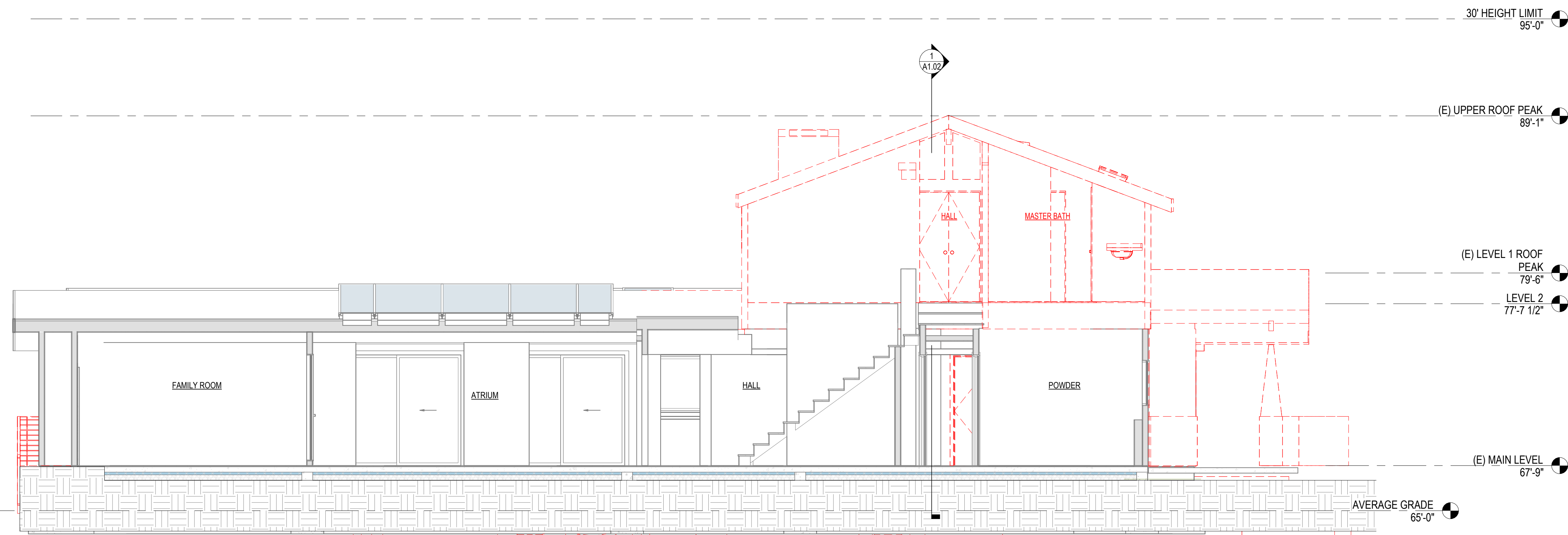
GENERAL DEMO PLAN NOTES:

1. MAIN LEVEL ENTRY, DOOR, AND ADJACENT PORCH STRUCTURE TO BE REMOVED
2. PORTION OF MAIN LEVEL ROOF TO BE REMOVED FOR NEW UPPER FLOOR FRAMING.
3. MAIN LEVEL SOUTH GARAGE ROOF TO BE REMOVED
4. PORTIONS OF GARAGE WALLS WILL BE REMOVED AND REPLACED
5. STORAGE CLOSET AND ACCESS DOOR TO GARAGE TO BE REMOVED AND REPLACED.
6. GARAGE DOORS TO BE REMOVED, AND REPLACED, SEE SPEC.
7. ALL EXISTING SIDING TO BE REMOVED AND REPLACED.
8. ALL EXISTING ROOFING TO BE REMOVED AND REPLACED.
9. EXISTING EXTERIOR DECK, DECK RAILING, AND ADJACENT STEPS TO BE DEMOLISHED AND REPLACED PER PLAN AND WITHIN LIMIT OF WORK.
10. UPPER LEVEL FIREPLACE TO BE DEMOLISHED.
11. UPPER LEVEL WALLS AND FLOOR FRAMING TO BE DEMOLISHED AND REPLACED.
12. UPPER LEVEL DECK TO BE DEMOLISHED.
13. UPPER LEVEL ROOF TO BE DEMOLISHED.

KEY	
	EXISTING WALL
	DEMO WALL



1 DEMO SECTION - GARAGE AND MASTER SUITE
1/4" = 1'-0"



2 DEMO SECTION - MAIN FLOOR, STAIR, AND MASTER BATH
1/4" = 1'-0"

PERMIT SET
APRIL 22, 2025

**FAUSER
RESIDENCE**

9640 SE 61ST PL, MERCER
ISLAND, WA 98040

PROJECT INFO

PROJECT NUMBER : 23-024
SUBMITTAL DATE: Issue Date

ISSUE

#	ADD.	REVISION	DATE

SHEET

DEMOLITION SECTIONS

A1.02

FAUSER RESIDENCE

GENERAL PLAN NOTES:

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. COMMENCEMENT OF WORK SHALL BE DEEMED AS THE GC'S ACKNOWLEDGMENT OF ALL WORK TO COMPLETE PROJECT IN CONFORMANCE WITH CONTRACT DOCUMENTS AND SCHEDULE.
- GENERAL CONTRACTOR TO REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN IN DRAWINGS. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK IN QUESTION OR ORDERING MATERIALS FOR WORK.
- JOB SITE SHALL BE KEPT CLEAN AND SAFE DURING ALL PHASES OF CONSTRUCTION.
- PROTECT BUILDING FROM WATER DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UTILITIES, NOT COVERED IN THE CONSTRUCTION DEMOLITION DOCUMENTS, WHICH MAY INTERFERE WITH COMPLETING THE WORK. WHEN REMOVAL IS APPROVED BY THE ARCHITECT, GENERAL CONTRACTOR SHALL INSPECT, TEST, AND DISCONNECT THE SPECIFIED UTILITY, CUT BACK TO SOURCE AND CAP.
- ALL PARTITIONS ARE DIMENSIONED FROM FACE OF FRAMING, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS MARKED "CLR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING FLOOR FINISHES.
- DIMENSIONS LOCATING DOORS BY EDGE ARE TO THE INSIDE EDGE OF JAMB, UNLESS OTHERWISE NOTED (TYP. 4 1/2" FROM WALL TO ALLOW FOR FULL UNRIPPED JAMB LEG TRIM).
- DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.
- "ALIGN" SHALL MEAN ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYPED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED.
- VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER TO ENSURE SECURITY.
- COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4", UNLESS OTHERWISE NOTED.
- ALL MECHANICAL AND ELECTRICAL SCOPE OF WORK IS DESIGN-BUILD BY RESPECTIVE SUBCONTRACTORS. FIXTURE, GRILLE, SWITCH, AND OUTLET LOCATIONS SHOULD BE CONSIDERED DURING FRAMING - AND FINAL LOCATIONS SHOULD BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- ALL STAIRS SHALL HAVE A HANDRAIL WITH 2" Ø GRIP 36" ABOVE NOSING OF TREAD.
- ALL NEW EXTERIOR WALLS TO BE 2X6 FRAMING U.N.O.
- ALL NEW INTERIOR WALLS TO BE 2X4 FRAMING U.N.O.

MAIN FLOOR PLAN NOTES:

- EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
- NEW STRUCTURAL COLUMNS INSIDE NEW AND EXISTING WALLS AS NEEDED TO SUPPORT NEW UPPER FLOOR STRUCTURE ABOVE.
- REMOVE AND REPLACE EXISTING ALL EXTERIOR SIDING.
- DEMOLISH AND REPLACE EXISTING DECK AND ASSOCIATED STAIRS.

SITE NOTES:

- REMOVE AND REPLACE EXISTING DRIVEWAY.
- REMOVE AND REPLACE EXISTING PARKING PAD.
- REMOVE AND REPLACE EXISTING ENTRY PAVERS.
- REMOVE EXISTING SITE WALL AND GRAVEL AREA EAST OF GARAGE. NEW SITE WALL WITH TURF TO REPLACE.

SMOKE & HEAT DETECTOR NOTES:

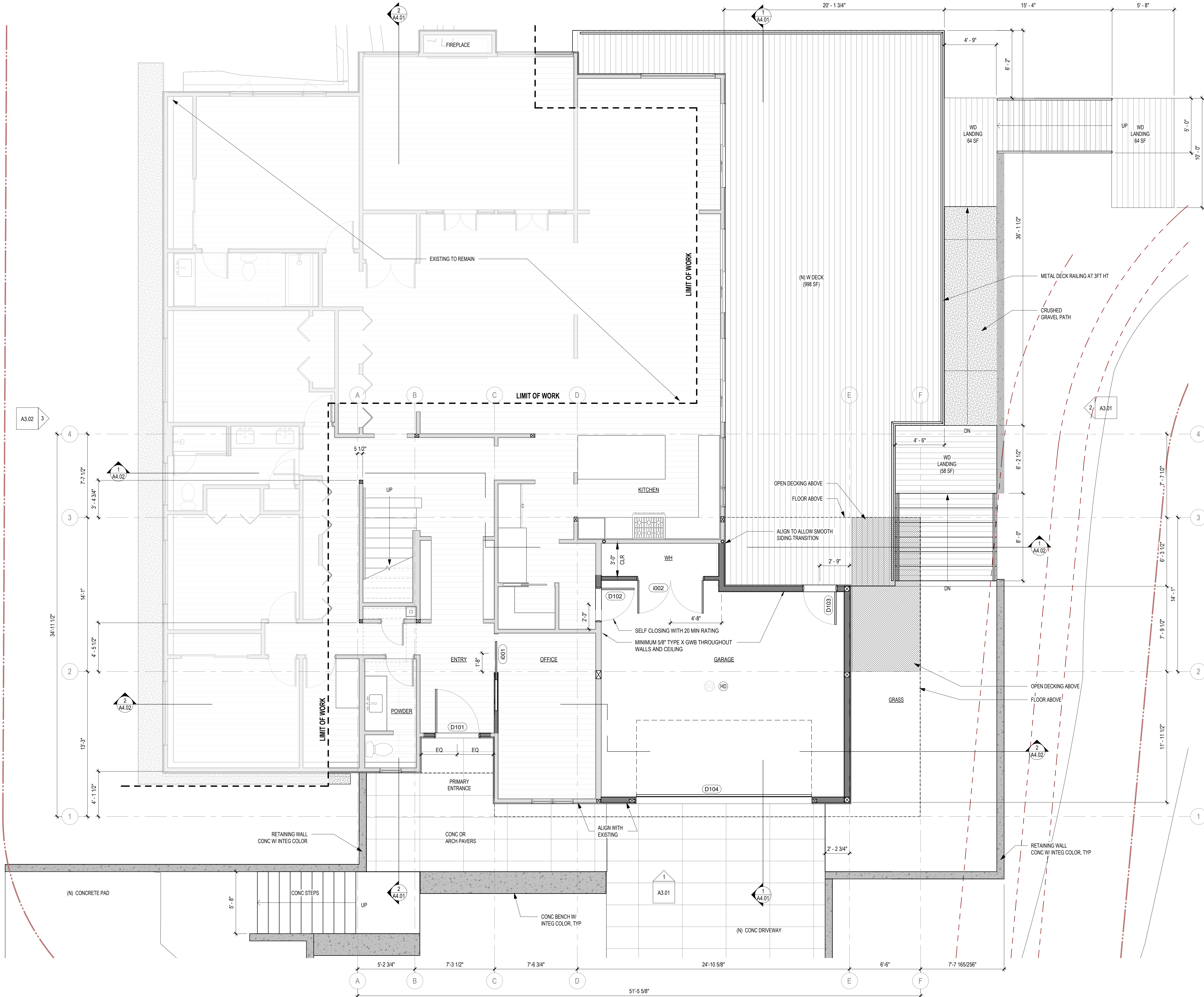
- DWELLING UNITS THAT ARE USED FOR SLEEPING PURPOSES SHALL BE PROVIDED WITH SMOKE DETECTORS.
- ALL SMOKE DETECTORS TO BE HARD-WIRED WITH BATTERY BACK-UP.
- DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED MANUFACTURER'S INSTRUCTION AND IN ACCORDANCE WITH APPLICABLE IRC CODES SECTIONS.
- ALL DETECTORS TO BE COMBINATION SMOKE / CARBON MONOXIDE DETECTORS.
- HEAT DETECTORS SHALL BE INSTALLED IN A CENTRAL LOCATION AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS (IRC R314.2.3)

KEY	
	NEW WALL
	EXISTING WALL
	SMOKE/CO ALARM
	HEAT DETECTOR
	EXHAUST FAN
	EXHAUST PATH

ISSUE

#	ADD.	REVISION	DATE

A2.01



MAIN FLOOR PLAN
1/4" = 1'-0"

GENERAL PLAN NOTES:

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. COMMENCEMENT OF WORK SHALL BE DEEMED AS THE GC'S ACKNOWLEDGMENT OF ALL WORK TO COMPLETE PROJECT IN CONFORMANCE WITH CONTRACT DOCUMENTS AND SCHEDULE.
- GENERAL CONTRACTOR TO REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN IN DRAWINGS. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK IN QUESTION OR ORDERING MATERIALS FOR WORK.
- JOB SITE SHALL BE KEPT CLEAN AND SAFE DURING ALL PHASES OF CONSTRUCTION.
- PROTECT BUILDING FROM WATER DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UTILITIES, NOT COVERED IN THE CONSTRUCTION/DEMOLITION DOCUMENTS, WHICH MAY INTERFERE WITH COMPLETING THE WORK. WHEN REMOVAL IS APPROVED BY THE ARCHITECT, GENERAL CONTRACTOR SHALL INSPECT, TEST, AND DISCONNECT THE SPECIFIED UTILITY, CUT BACK TO SOURCE AND CAP.
- ALL PARTITIONS ARE DIMENSIONED FROM FACE OF FRAMING, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING FLOOR FINISHES.
- DIMENSIONS LOCATING DOORS BY EDGE ARE TO THE INSIDE EDGE OF JAMB, UNLESS OTHERWISE NOTED (TYP. 4 1/2" FROM WALL TO ALLOW FOR FULL UN-RIPPED JAMB LEG TRIM).
- DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.
- "ALIGN" SHALL MEAN ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED.
- VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER TO ENSURE SECURITY.
- COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4", UNLESS OTHERWISE NOTED.
- ALL MECHANICAL AND ELECTRICAL SCOPE OF WORK IS DESIGN/BUILD BY RESPECTIVE SUBCONTRACTORS. FIXTURE, GRILLE, SWITCH, AND OUTLET LOCATIONS SHOULD BE CONSIDERED DURING FRAMING - AND FINAL LOCATIONS SHOULD BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- ALL STAIRS SHALL HAVE A HANDRAIL WITH 2" Ø GRIP 36" ABOVE NOSING OF TREAD.
- ALL NEW EXTERIOR WALLS TO BE 2X6 FRAMING U.N.O.
- ALL NEW INTERIOR WALLS TO BE 2X4 FRAMING U.N.O.

MAIN FLOOR PLAN NOTES

- EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
- NEW STRUCTURAL COLUMNS INSIDE NEW AND EXISTING WALLS AS NEEDED TO SUPPORT NEW UPPER FLOOR STRUCTURE ABOVE.
- REMOVE AND REPLACE EXISTING ALL EXTERIOR SIDING.
- DEMOLISH AND REPLACE EXISTING DECK AND ASSOCIATED STAIRS.

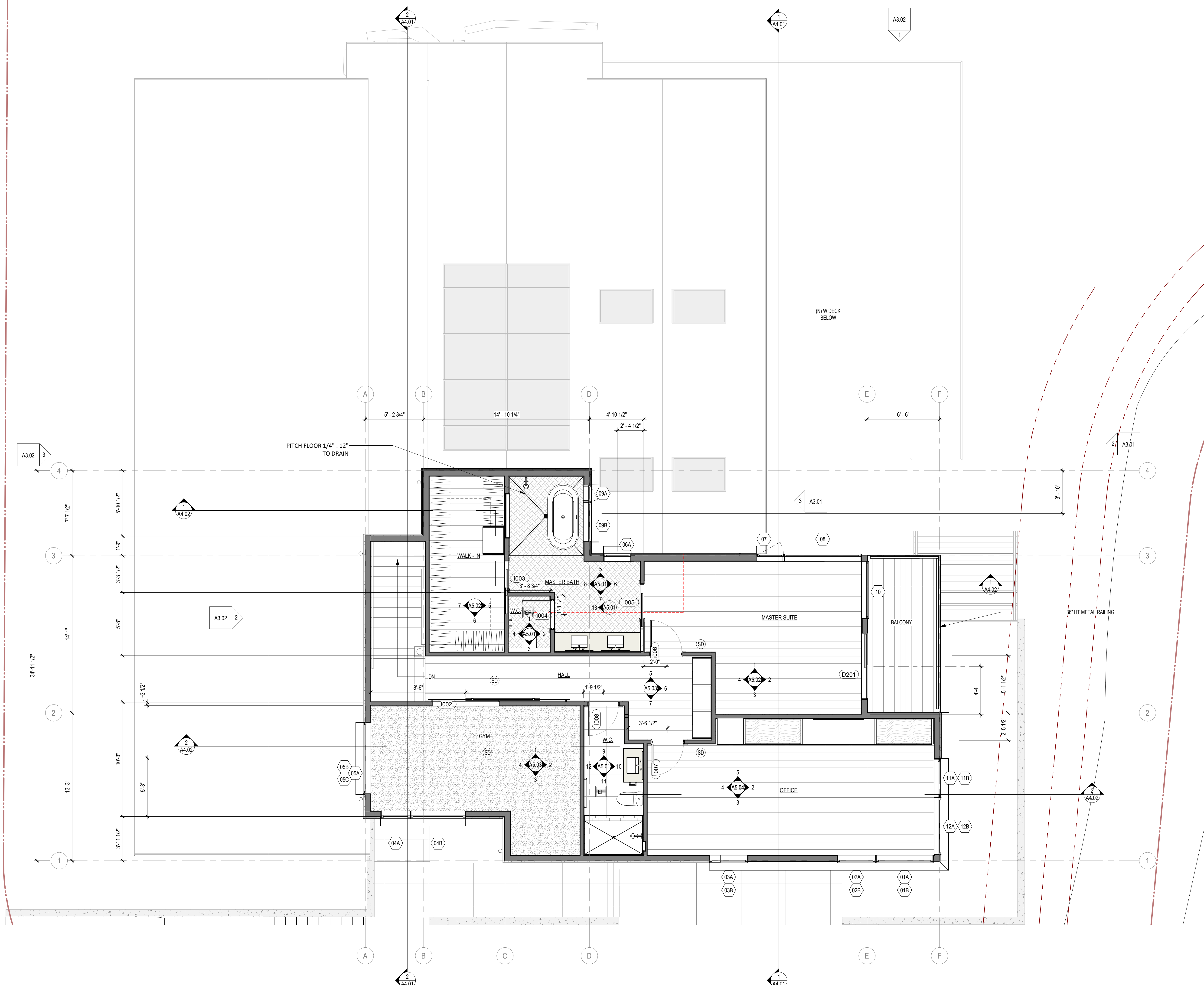
SITE NOTES

- REMOVE AND REPLACE EXISTING DRIVEWAY.
- REMOVE AND REPLACE EXISTING PARKING PAD.
- REMOVE AND REPLACE EXISTING ENTRY PAVERS.
- REMOVE EXISTING SITE WALL AND GRAVEL AREA EAST OF GARAGE. NEW SITE WALL WITH TURF TO REPLACE.

SMOKE & HEAT DETECTOR NOTES:

- DWELLING UNITS THAT ARE USED FOR SLEEPING PURPOSES SHALL BE PROVIDED WITH SMOKE DETECTORS.
- ALL SMOKE DETECTORS TO BE HARD-WIRED WITH BATTERY BACK-UP.
- DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED MANUFACTURER'S INSTRUCTION AND IN ACCORDANCE WITH APPLICABLE IRC CODES SECTIONS.
- ALL DETECTORS TO BE COMBINATION SMOKE / CARBON MONOXIDE DETECTORS.
- HEAT DETECTORS SHALL BE INSTALLED IN A CENTRAL LOCATION AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS (IRC R314.23)

KEY	
	NEW WALL
	EXISTING WALL
	SMOKE/CO ALARM
	HEAT DETECTOR
	EXHAUST FAN
	EXHAUST PATH



ISSUE		
#	ADD. REVISION	DATE

FAUSER RESIDENCE

PROJECT INFO

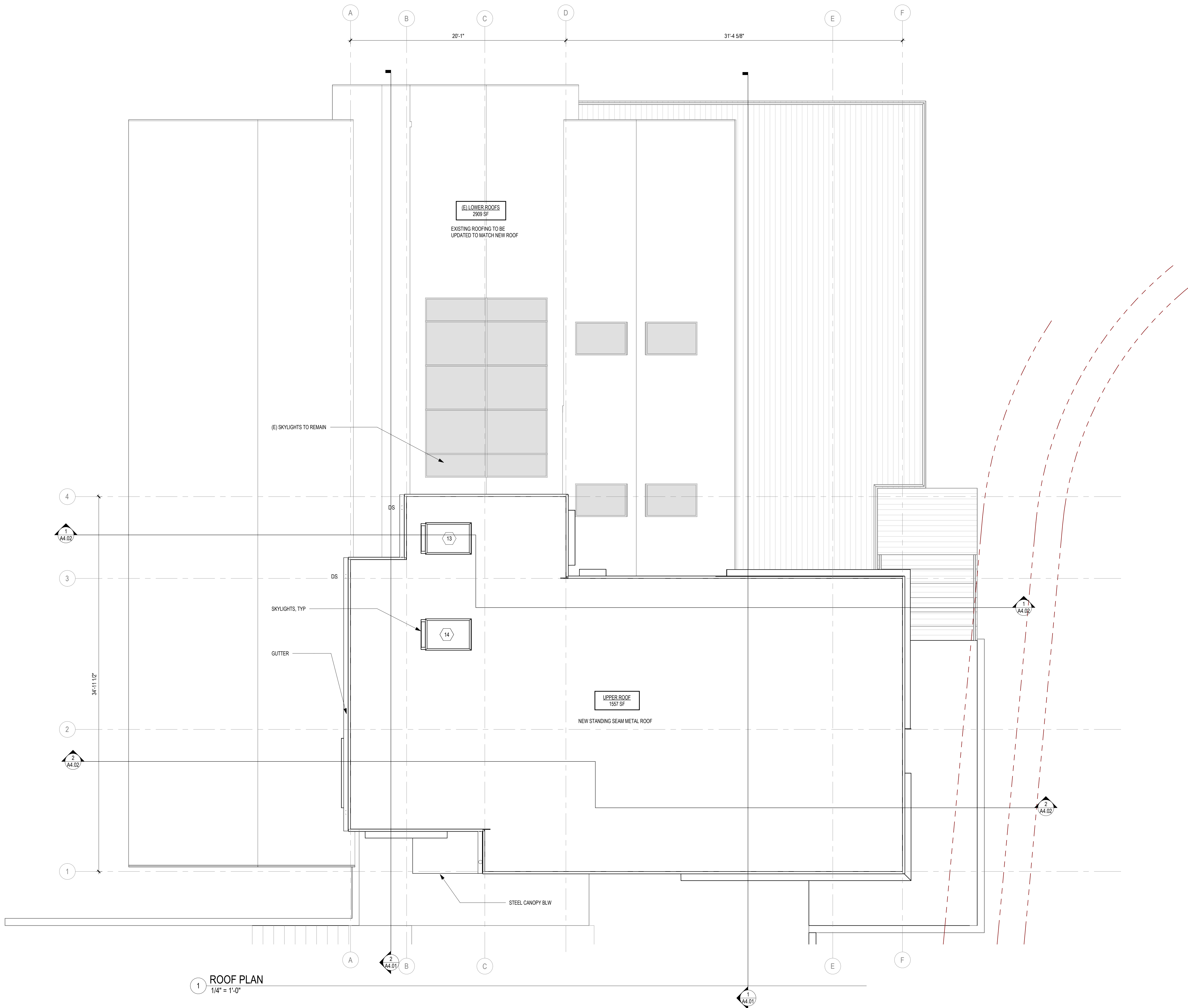
PROJECT NUMBER : 23-024
SUBMITTAL DATE : Issue Date

ISSUE

#	ADD.	REVISION	DATE

SHEET
ROOF PLAN

A2.03

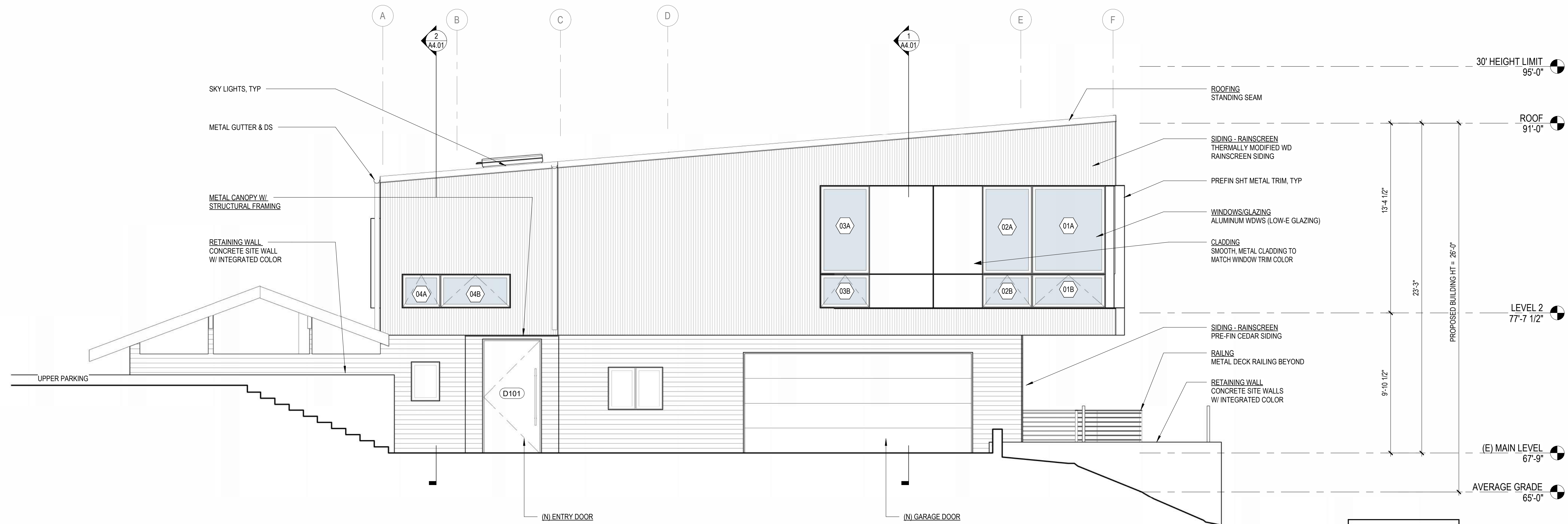


1 ROOF PLAN
1/4" = 1'-0"

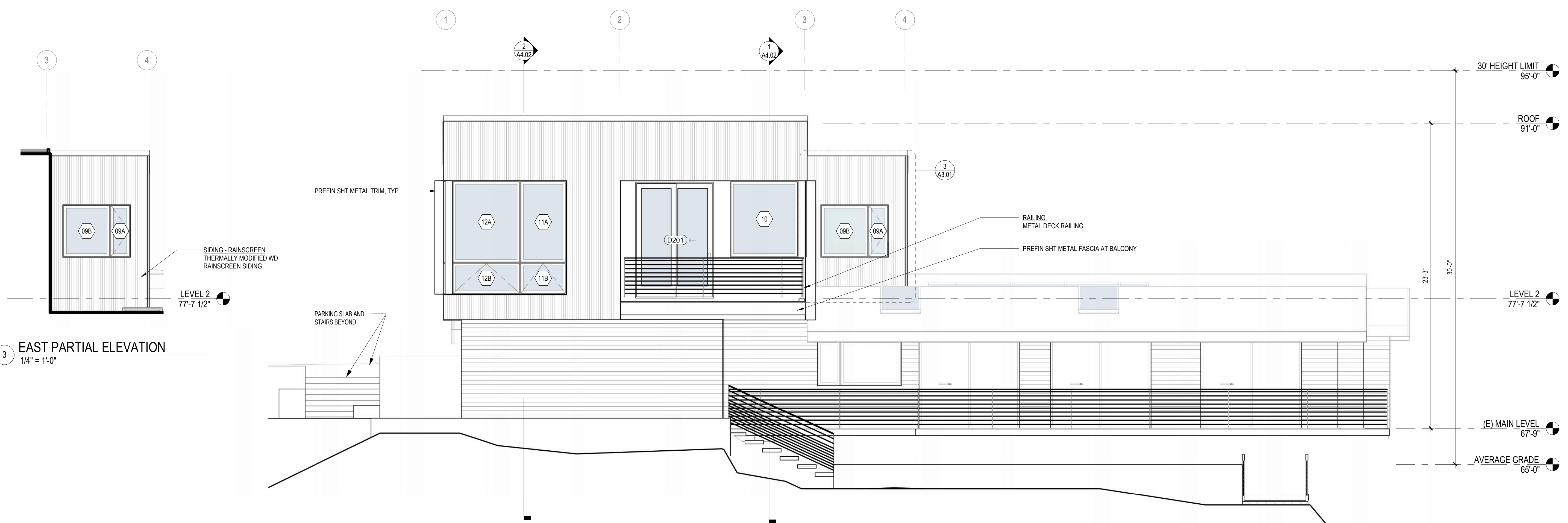
FAUSER RESIDENCE

ISSUE

#	ADD.	REVISION	DATE



1 SOUTH ELEVATION
1/4" = 1'-0"

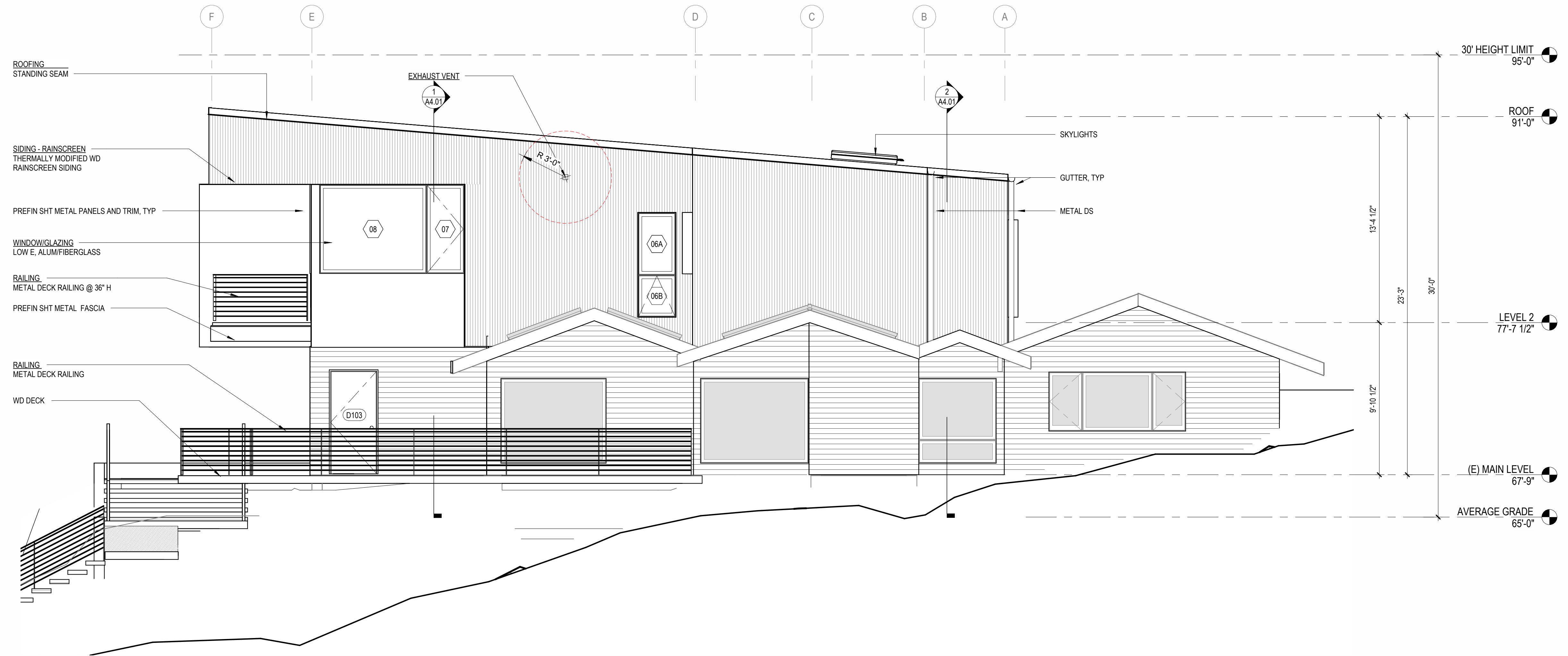


3 EAST PARTIAL ELEVATION
1/4" = 1'-0"

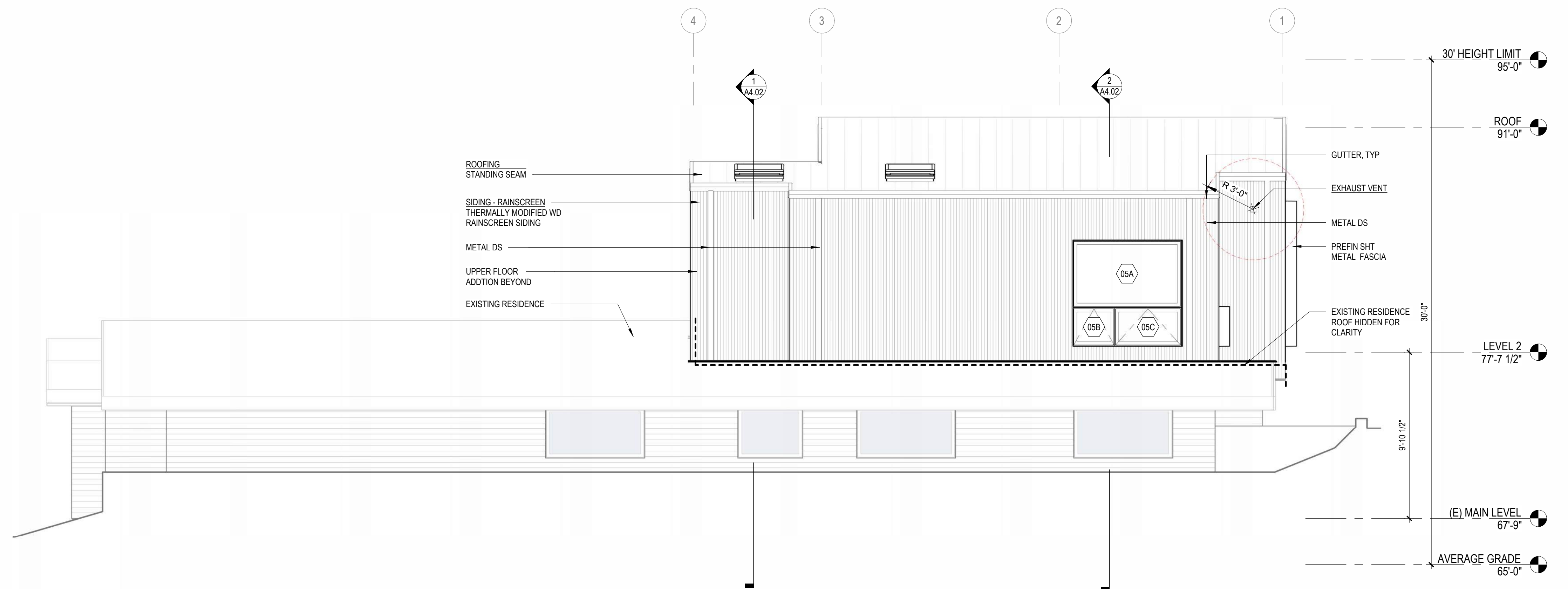
2 EAST ELEVATION
1/4" = 1'-0"

FAUSER RESIDENCE

ISSUE			
#	ADD.	REVISION	DATE



1 NORTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"

FAUSER RESIDENCE

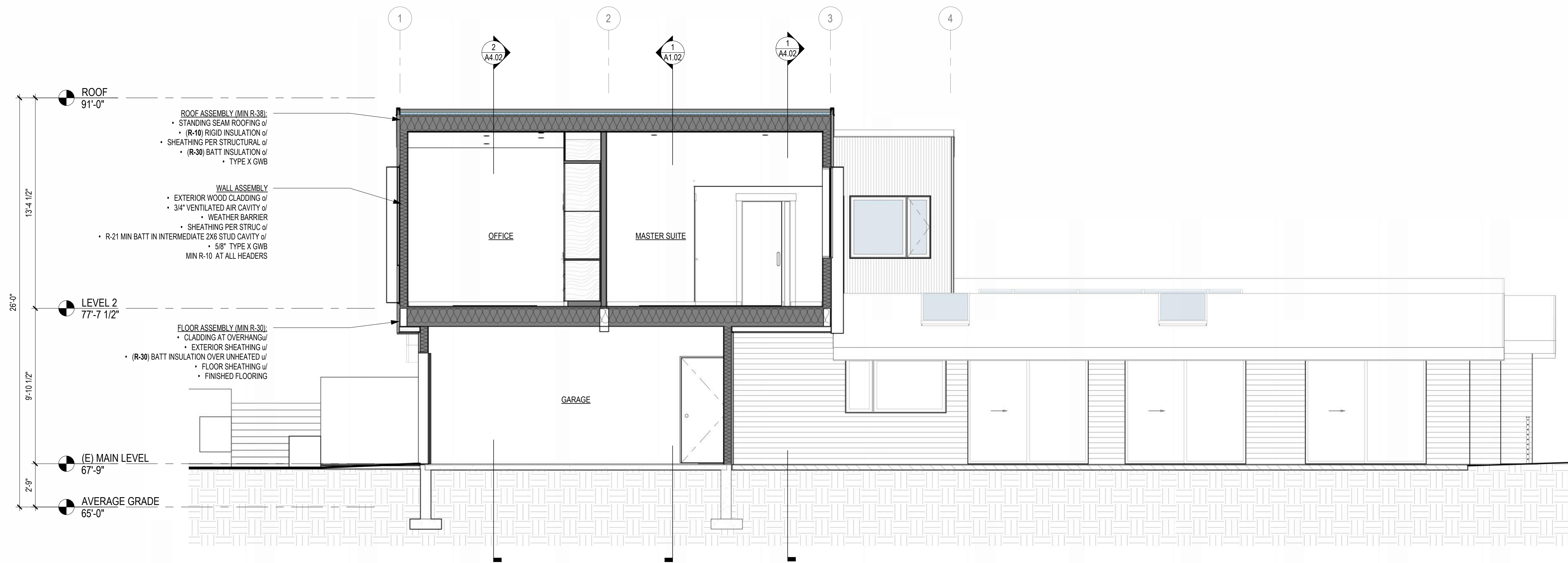
ISSUE

#	ADD.	REVISION	DATE

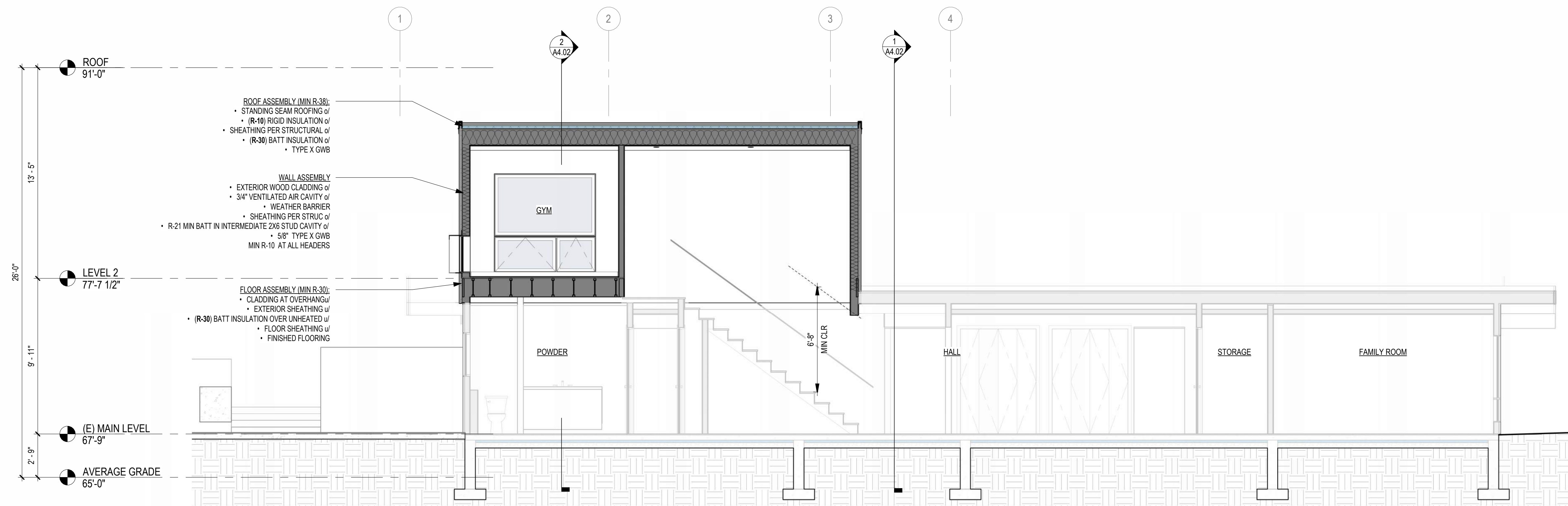
SHEET

BUILDING SECTIONS

A4.01



1 NORTH-SOUTH SECTION - MASTER SUITE
1/4" = 1'-0"



2 NORTH-SOUTH SECTION - GYM AND STAIR
1/4" = 1'-0"

FAUSER RESIDENCE

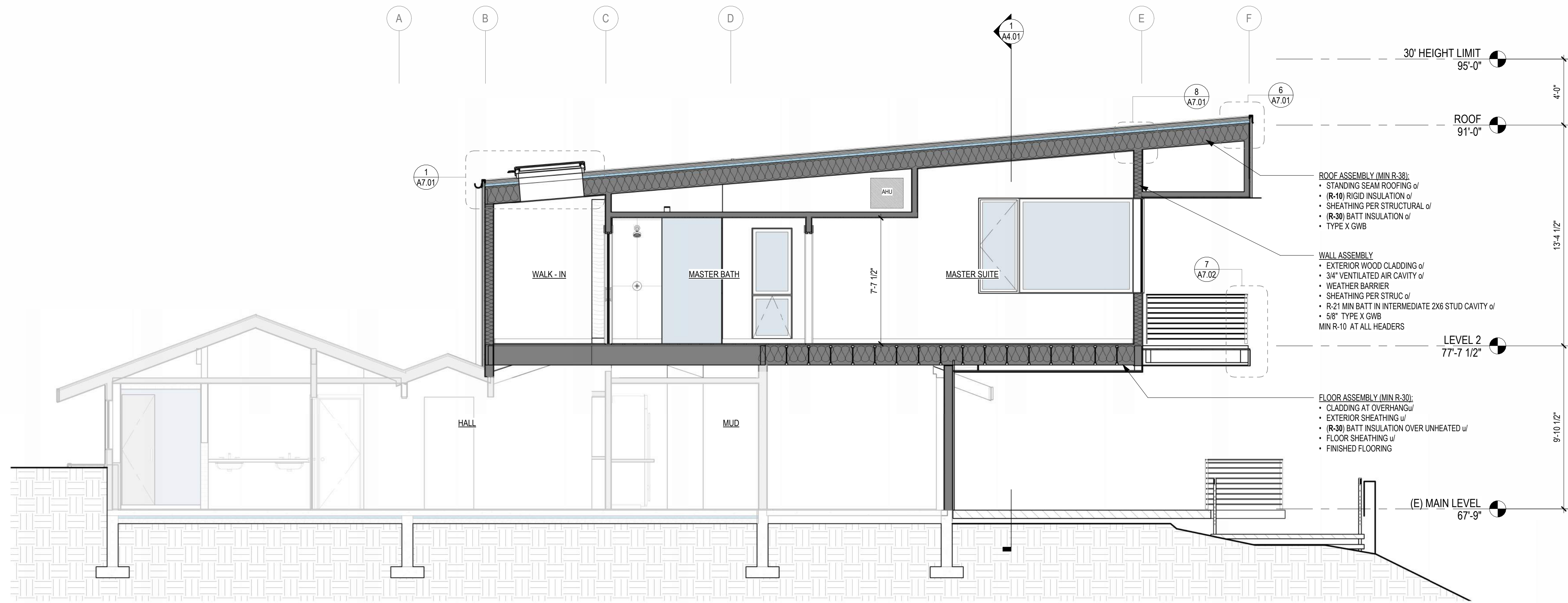
ISSUE

#	ADD.	REVISION	DATE

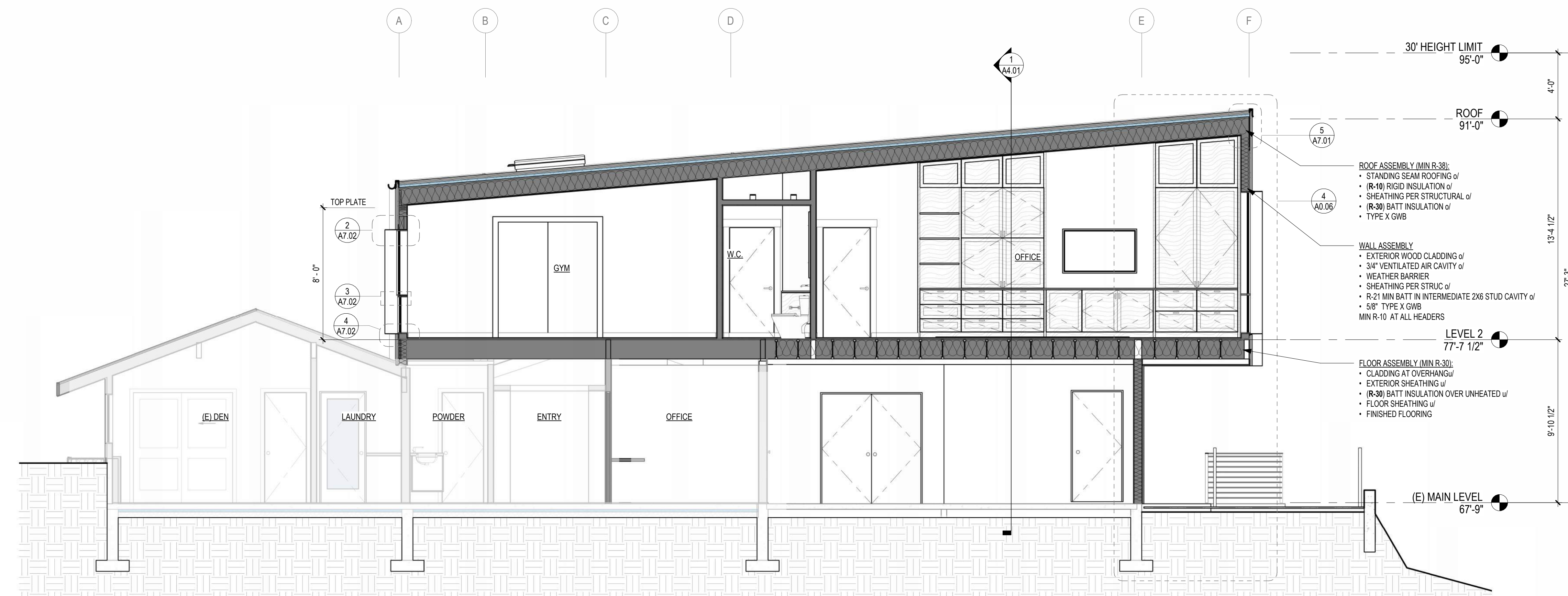
SHEET

BUILDING SECTIONS

A4.02



1 EAST/WEST SECTION - MASTER SUITE
1/4" = 1'-0"



2 EAST/WEST SECTION - OFFICE
1/4" = 1'-0"

